

Circular No : URA/PB/2016/02-PCUDG
Our Ref : DC/ADMIN/CIRCULAR/PB_16
Date : 04 Mar 2016

CIRCULAR TO PROFESSIONAL INSTITUTES

Who Should Know

Building owners, developers and architects

Effective Date

With immediate effect

URA/PCUD PLAN RELEASE 2/2016E STREET BLOCK PLAN FOR AREA BOUNDED BY RACE COURSE ROAD / BIRCH ROAD / SERANGOON ROAD / CHANDER ROAD (ROCHOR PLANNING AREA)

Details

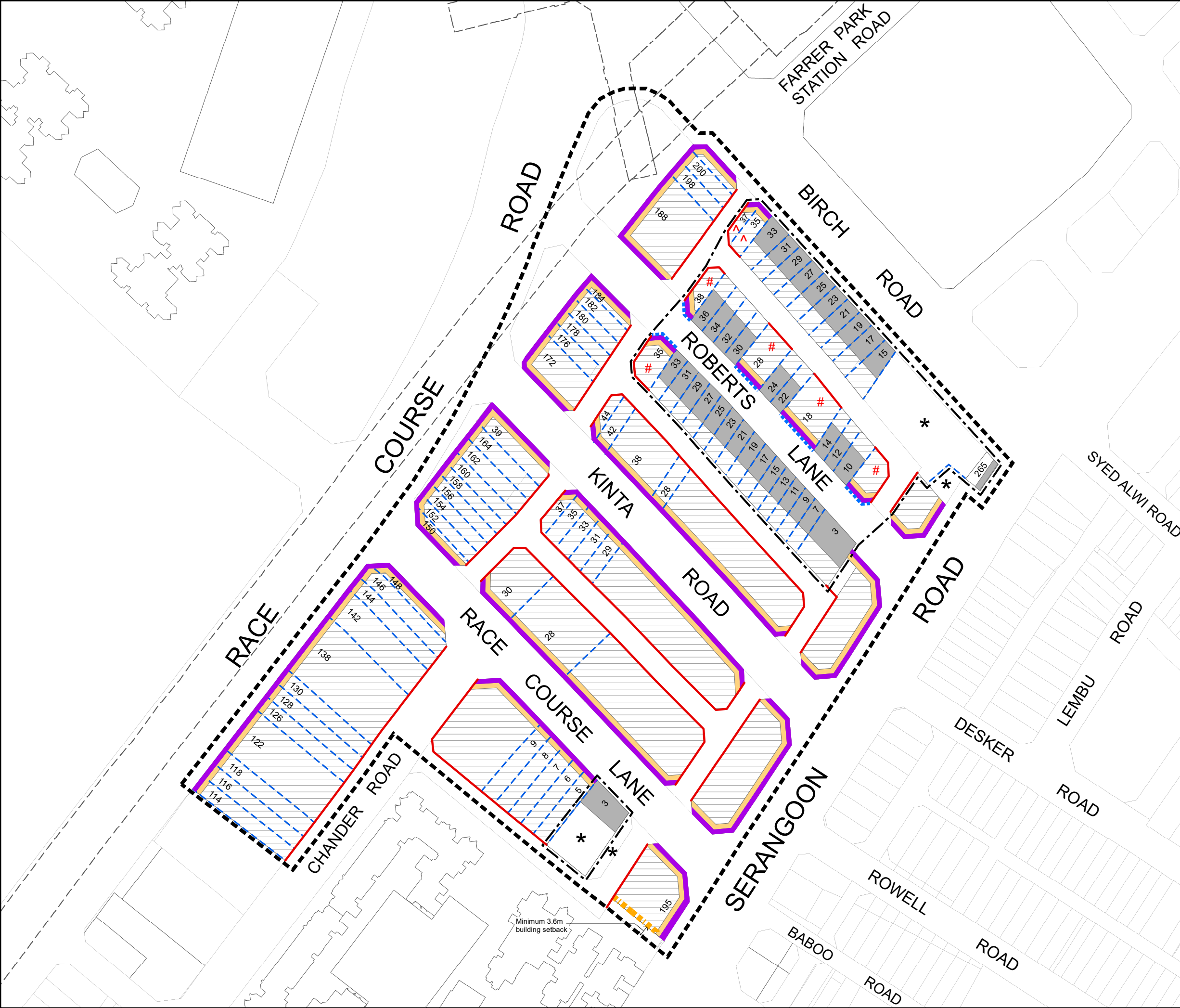
1. URA has drawn up a street block plan for the area bounded by Race Course Road / Birch Road / Serangoon Road / Chander Road as shown in Appendix 1.
2. The street block plan will be used to guide developments (for redevelopment or addition & alteration proposals) within the street block, including sites with conserved buildings. The conserved buildings within the street blocks are located within the Jalan Besar Conservation Area. The prevailing conservation guidelines will continue to apply for the conserved buildings.

Guidelines

3. The planning parameters and urban design guidelines for this street block plan include the type of land use, building height, form of development, setback requirements and vehicular access. The prescribed guidelines are tabulated and shown in Appendix 2.
4. I would appreciate it if you could convey the contents of this circular to the relevant members of your organisation. If you or your members have any queries concerning this circular, please email our Conservation & Urban Design Department at ura_upd_da_team@ura.gov.sg. You can also call our Development Control Group (DCG) Enquiry Line at Tel: 6223 4811 or email us at ura_dcd@ura.gov.sg. For your information, past circulars and guidelines are available at our website <http://www.ura.gov.sg>.

Thank you.

CHOU MEI (MS)
ACTING GROUP DIRECTOR (CONSERVATION & URBAN DESIGN)
for CHIEF EXECUTIVE OFFICER
URBAN REDEVELOPMENT AUTHORITY



URA / PCUD PLAN
 RELEASE 2/2016E

STREET BLOCK PLAN BOUNDED
 BY RACE COURSE ROAD /
 BIRCH ROAD / SERANGOON
 ROAD / CHANDER ROAD
 [ROCHOR PLANNING AREA]

LEGEND

BOUNDARY OF STREET BLOCK

BOUNDARY OF GAZETTED
 CONSERVATION AREA

EXTENT OF CONSERVED MAIN BUILDING
 (Indicative only)

SUBJECT TO DETAILED PLANNING /
 CONSERVATION REQUIREMENTS

FUTURE REALIGNMENT OF STREET
 RESERVE LINE ALONG ROBERTS LANE

FOR FUTURE REDEVELOPMENTS OF NO.
 38, 35, 28, 18 ROBERTS LANE AND PARCEL
 TS18-99262P (NEXT TO NO. 10) ALONG
 ROBERTS LANE, THE REAR EXTENSION
 CAN BE ALLOWED TO START FROM THE
 ROOF RIDGE OF THE ADJACENT
 CONSERVED BUILDING

FOR FUTURE REDEVELOPMENT OF NO. 35
 AND 37 BIRCH ROAD, THE FULL EXTENT OF
 UP TO 6 STOREYS IS ALLOWED TO BE
 DEVELOPED UP TO THE STREET RESERVE
 LINE

BUILDING HEIGHT

MAXIMUM 6 STOREY

BUILDING FORM

FULL HEIGHT BUILDING EDGE

FULL HEIGHT PARTY WALL

MINIMUM 3.6M BUILDING SETBACK

NO BUILDING SETBACK REQUIRED

PEDESTRIAN NETWORK

COVERED WALKWAY

CONFIDENTIAL

SCALE : 1:1,250 @A3

0 30 M

DRWG NO : RC/2021/030
 DATE : 1 DEC 2021
 GROUP : UDCAE / CUDG

URBAN
 REDEVELOPMENT
 AUTHORITY
 To make Singapore a great city to live, work and play

PLANNING PARAMETERS AND URBAN DESIGN GUIDELINES FOR AREA BOUNDED BY RACE COURSE ROAD / BIRCH ROAD / SERANGOON ROAD / CHANDER ROAD [ROCHOR PLANNING AREA]

The prescribed planning parameters and urban design guidelines are:

Parameters	Requirements
Land Use	Residential with Commercial at 1 st Storey / Commercial / Hotel / Commercial & Residential
Conserved Buildings <i>Appendix 1</i>	For location and extent (indicative) of conserved main buildings, refer to <u>Appendix 1</u> .
Gross Plot Ratio	Maximum 3.5
Building Height <i>Appendix 1</i>	Maximum 6 storeys for new buildings and new extensions.
	<u>For the future development of infill site along Roberts Lane [applicable only for no. 38, 35, 28, 18 and parcel TS18-99262p (next to no. 10) along Roberts Lane].</u> <u>Front development:</u> The height shall not exceed the roof ridge of the adjacent conserved buildings. <u>Rear development & new extension:</u> Maximum 6 storeys allowed to start from the roof ridge of the adjacent conserved building.
	<u>Applicable only for no. 35, 37 Birch Road:</u> <u>Front/Rear development & new extension:</u> Maximum 6 storeys
Building Edge <i>Appendix 1</i>	Developments within the street block are to be built up to the line of Street Reserve up to their allowable height as shown in <u>Appendix 1</u> .
Future re-alignment of Street Reserve Line along Roberts Lane <i>Appendix 1</i>	The existing street reserve line along Roberts Lane will be re-aligned in the future to match the alignment of the existing conserved shophouses as shown in <u>Appendix 1</u> . This will affect the infill units along Roberts Lane [namely no. 38, 35, 28, 18 and parcel TS18-99262p (next to no. 10) along Roberts Lane]. As such, future redevelopment infill units along Roberts Lane will be required to extend their development outwards towards the future Street Reserve Line along Roberts Lane.
Building Setback <i>Appendix 1</i>	<u>Only Applicable to 195 Serangoon Road</u> 3.6m setback from common boundary line along Serangoon Road as shown in <u>Appendix 1</u> .

	No building setback is required for the rear.
Party-Wall Developments <i>Appendix 1</i>	<p>Developments are to be built up to the full height of the development.</p> <p>Window openings are not permitted along the party wall.</p>
	<p><u>For the future development of infill sites along Roberts Lane [applicable only for no. 38, 35, 28, 18 and parcel TS18-99262p (next to no. 10) along Roberts Lane],</u></p> <p><u>Front development:</u> The height of the party wall shall match the roof ridge of the adjacent conserved buildings.</p> <p><u>Rear development & new extension:</u> Full height party wall required.</p>
Covered Walkway <i>Appendix 1</i>	<p>Covered walkways are to abut the line of Street Reserve as shown in <u>Appendix 1</u>.</p> <p>The covered walkway must be at least 3.6m wide along Serangoon Road and 3.0m for the rest of the street block. Where colonnades are provided, the internal clear width of the covered walkways must be at least 3.0m / 2.4m wide respectively.</p> <p>To provide adequate weather protection for pedestrians, the external soffit heights must minimally match the width of the covered walkway.</p>
Service Area	<p>All M&E structures above the roof level (including lift) shall be kept to a maximum height of 5m measured from the roof level and setback from the main road.</p> <p>All service areas, mechanical and electrical (M&E) equipment, water tanks, car parking lots etc, are to be located within, and be fully integrated into the building envelope and/or visually well-screened from the top and on all sides.</p> <p><u>Relevant guideline:</u> <u>Guidelines to encourage more innovate and better design of rooftop – Screening of Mechanical & Electrical services and car parks, on roofs and building facades within the Central Area.</u></p>
Vehicular Access	All vehicular access must be taken from the rear service roads / Chander Road.

Updated on 1 Dec 2021

* Please refer to the updated Master Plan land use zoning. Where there is any discrepancy, the Master Plan land use zoning shall prevail.

The plot for road widening is required by LTA to be vested free of charge in the State with vacant possession and free from encumbrances prior to issue of CSC for the development.